

ADDENDUM A

Date: November 9, 2021

RE: Petrina Marsh, CPPB
South Carolina Education Lottery
SSOE Project No. 021-005231-00

To: Bidders: This addendum forms a part of the contract documents and modifies the original Bidding Documents dated October 20, 2021. Acknowledge receipt of this addendum in the space provided on the bid form.

From: SSOE | Stevens & Wilkinson
1501 Main Street, Suite 730
Columbia, SC 29201

Telephone: (803) 765-0320

Distribution: ALL BIDDERS OF RECORD

Attachments:

NEW DRAWINGS ISSUED: None

REVISED DRAWINGS ISSUED:

SC Education Lottery Upfit – ADDENDA A – 11.09.2021 sheets G1.02, G3.40, AD1.41, A1.40, & A1.41

RESPONSE TO RFIs:

SC Education Lottery Upfit – RFI 1 - RESPONSE – 11.09.2021
SC Education Lottery Upfit – RFI 2 – EE RESPONSE – 11.09.2021

CLARIFICATIONS

1. G1.02
 - a. Added Construction Restriction Notes
2. G3.40
 - a. Added Construction Restriction Notes
3. AD1.41
 - a. Added Construction Restriction Notes
4. A1.40

ADDENDUM A

- a. Added Construction Restriction Notes
- 5. A1.41
 - a. Added Construction Restriction Notes
- 6. RFI 1
 - a. Response to RFI 1 regarding asbestos test, existing furniture relocation, work hours, site visit by a bidder, additional building requirements.
- 7. RFI 2
 - a. Response to RFI 2 regarding exhaust fan on roof level, & electrical panels.

END OF ADDENDUM A

ABBREVIATIONS LEGEND

Table with columns A through Z containing abbreviations and their corresponding descriptions, such as AB ANCHOR BOLT, AC AIR CONDITIONING, etc.

ABBREVIATIONS LEGEND

Table with columns H through R containing abbreviations and their corresponding descriptions, such as H HIGH, HB HOSE BIB, etc.

ABBREVIATIONS LEGEND

Table with columns S through Z containing abbreviations and their corresponding descriptions, such as S SOUTH, SA SUPPLY AIR, etc.

GENERAL NOTES

- 1. THE CONTRACT DOCUMENTS CONSIST OF THIS SET OF DRAWINGS... 2. THIS SET OF DRAWINGS HAS AN ACCOMPANYING PROJECT MANUAL... 3. THESE DRAWINGS ARE COMPLEMENTARY AND INTERRELATED...

INDEX OF DRAWINGS

Table with columns SHEET NUMBER and SHEET NAME, listing drawing titles such as G1.00 COVER SHEET, G2.00 GENERAL NOTES & SHEET INDEX, etc.

CONSTRUCTION RESTRICTIONS NOTES: 1. DUST AND DEBRIS-GENERATING AND NOISE-CAUSING WORK MUST BE DONE AFTER WORK HOURS AND BEFORE 6:00 AM...

FIRE & SMOKE ASSEMBLIES NOTES

- 1. THE ANNULAR AREA OF ANY PENETRATION IN THE COMPOSITE DECK FLOOR FOR THE PASSAGE OF STEEL, FERROUS OR COPPER CONDUIT... 2. INSTALL FIRE RATING AT ALL GAPS BETWEEN FLOORS AND WALLS...

SSOE logo and S&W logo with professional seals for William J. Fleming and Bill Fleming.

Table with columns NO, DATE, and DESCRIPTION for the SUBMITTAL/REVISION SCHEDULE, showing one revision on 11/09/2021.

Table with columns CLIENT PROJECT #, SCEL PROJECT #, and PROJECT INFORMATION, listing project details for 20048.00 and Y20-N001-CB.

SOUTH CAROLINA EDUCATION LOTTERY logo and name.

South Carolina Education Lottery logo and address: 1333 MAIN STREET, COLUMBIA, SOUTH CAROLINA.

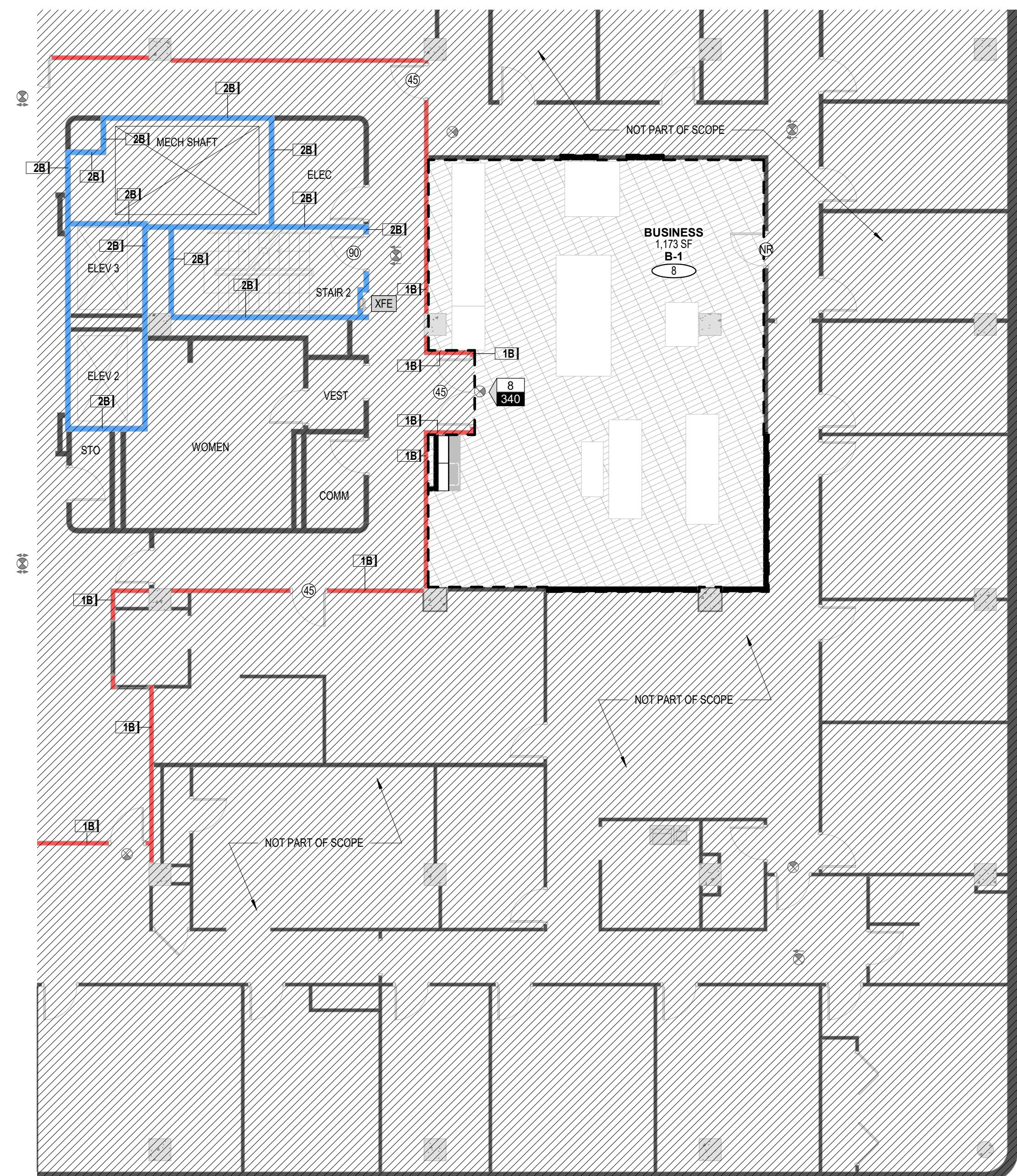
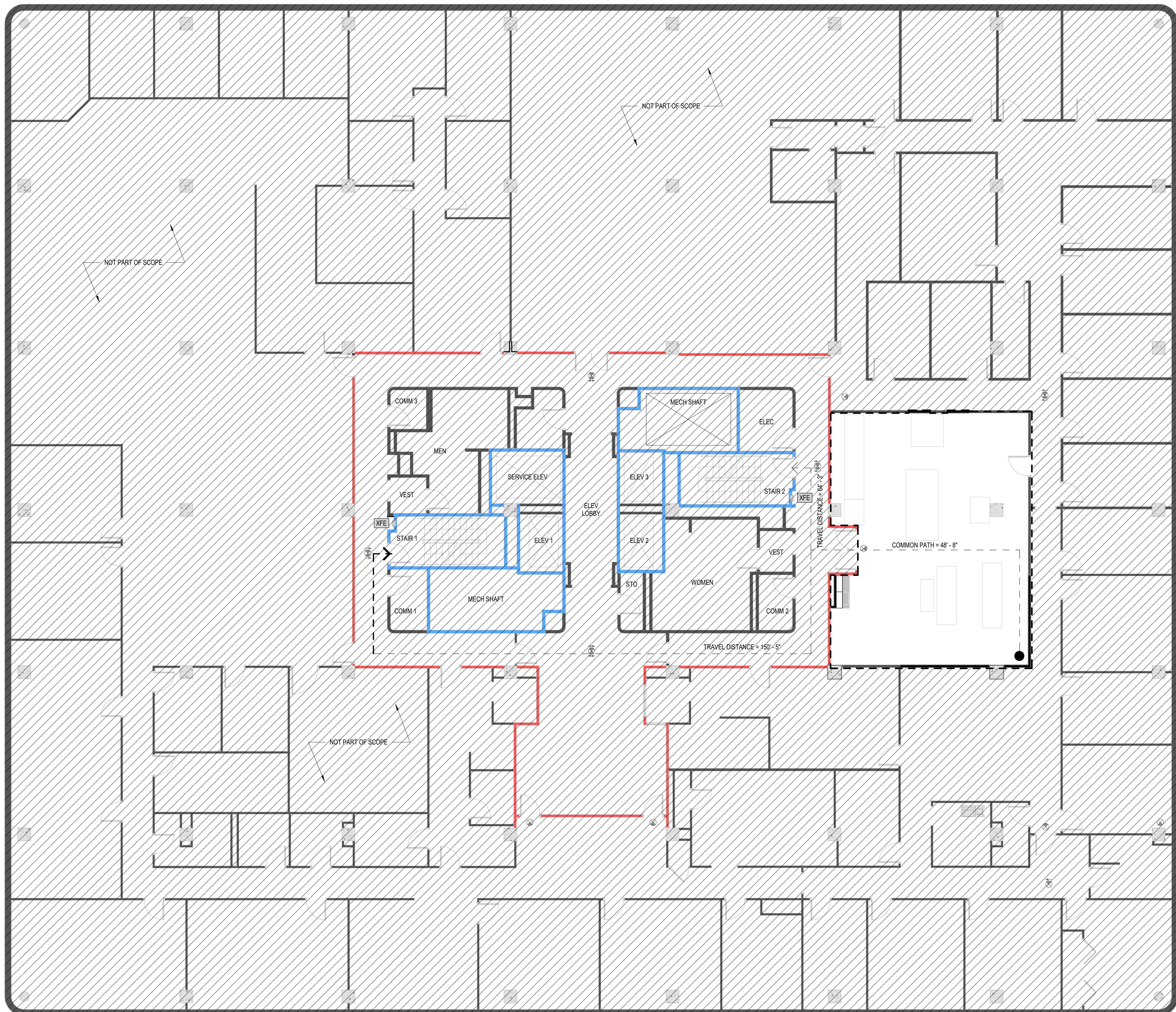
GENERAL INDEX & SHEET INDEX with the large number G1.02.

BUILDING DESIGN OCCUPANT LOAD (per IBC TABLE 1004.1.2)					
AREA NAME	AREA NUMBER	OCCUPANCY FLOOR AREA	FLOOR AREA PER OCCUPANT	CODE MINIMUM OCCUPANTS FOR THIS OCCUPANCY	DESIGN OCCUPANTS FOR THIS OCCUPANCY
LEVEL 4					
BUSINESS	B-1	1,173 SF	150 SF	8	8
		1,173 SF		8	8

LIFE SAFETY LEGEND	
	EXISTING CONSTRUCTION
	NEW NON RATED METAL STUDS CONSTRUCTION
	EXISTING 1 HOUR RATED METAL STUDS CONSTRUCTION
	EXISTING 2 HOUR RATED METAL STUDS CONSTRUCTION
	CENTERLINE
	BUILDING ELEMENTS ABOVE
	EXISTING COLUMN GRID REFERENCE
	ALIGNMENT REFERENCE
	EXISTING FIRE EXTINGUISHER
	EGRESS TRAVEL DISTANCE
	EXIT LIGHT FIXTURE - NEW
	EXIT LIGHT FIXTURE - EXISTING TO REMAIN
	DESIGN # OF OCCUPANTS
	MAXIMUM # OF OCCUPANTS ALLOWABLE PER EGRESS SYSTEM WIDTH
	EGRESS CAPACITY TAG
	DOOR & FRAME RATING IN MINUTES
	DOOR IDENTIFICATION
	PARTITION RATING
	*NOTED ON LIFE SAFETY PLANS
	PARTITION TYPE IDENTIFICATION
	Name (AT OCCUPANT COUNT PLANS AND LIFE SAFETY PLANS, THIS IS THE OCCUPANT LOAD FACTOR TYPE)
	101
	500
	ZONE
	ZONE (IF USED)
	AREA REFERENCE

IBC TABLE 1017.2
 EXIT ACCESS TRAVEL DISTANCE
 OCCUPANCY WITH SPRINKLER SYSTEM
 300 FEET MAXIMUM DISTANCE

- CONSTRUCTION RESTRICTIONS NOTES:**
- DUST AND DEBRIS-GENERATING AND NOISE-CAUSING WORK MUST BE DONE AFTER WORK HOURS AND BEFORE 6:00 AM MONDAY THROUGH FRIDAY OR ANYTIME ON WEEKENDS.
 - ACCESS TO THE 3RD FLOOR MUST HAVE A SPECIFIC DATE, TIMEFRAME, AND NAME OF INDIVIDUALS WHO WILL BE COMPLETING THE WORK.
 - ACCESS TO THE BUILDING WILL BE GRANTED TO THE FOREMAN/SUPERVISOR AND THAT PERSON WILL BE RESPONSIBLE FOR ENSURING ENTRANCE OF THE CREW.
 - SERVICE ELEVATORS MUST BE USED FOR DELIVERY AND REMOVAL OF EQUIPMENT, SUPPLIES, AND WASTE.
 - DUMPSTER MUST BE LOCATED ON THE BACK SURFACE PARKING LOT IN FRONT OF THE PATIO.
 - PARKING SPACES ARE AVAILABLE AFTER NORMAL DAILY WORK HOURS AND ANYTIME ON THE WEEKENDS ON THE BACK SURFACE PARKING LOT.
 - LOADING ZONE IS AVAILABLE FOR DELIVERIES.
 - BUILDING SECURITY IS AVAILABLE 24 HOURS DAILY.
 - ELECTRICAL SHUTDOWNS TO BE COORDINATED IN ADVANCE. 24-HOUR NOTIFICATION MINIMUM.
 - PRINTING EQUIPMENT TO BE RELOCATED BY OWNER. COORDINATION FOR FINISH WORK TO BE COORDINATED WITH EQUIPMENT DOWNTIME. GC SHALL COORDINATE WITH OWNER TO LINE UP ALL WORK REQUIRING REMOVAL OF EQUIPMENT WITH PRINTING SCHEDULES. GC SHALL ENSURE EQUIPMENT IS PROTECTED DURING CONSTRUCTION WHEN EQUIPMENT IS IN THE ROOM.
 - SURVEILLANCE/SECURITY CAMERAS TO BE RELOCATED BY OWNER.
 - GC TO COORDINATE WITH OWNER/LANDLORD REGARDING ACCESS TO FLOOR BELOW FOR NECESSARY WORK.



1 LIFE SAFETY FLOOR PLAN
 1/8" = 1'-0"

2 OCCUPANCY FLOOR PLAN
 1/8" = 1'-0"

SSOE
S&W

PROFESSIONAL SEALS:
 SOUTH CAROLINA
 WILLIAM J. FLEMING
 No. 746
 No. 3293
 5/6/2021

SUBMITTAL/REVISION SCHEDULE:

NO.	DATE	DESCRIPTION
1	08.06.2021	CONSTRUCTION DOCUMENTS
2	11.09.2021	ADDENDUM A

APPROVED FOR CONSTRUCTION
 NOT APPROVED FOR CONSTRUCTION

CLIENT INFORMATION:
SOUTH CAROLINA EDUCATION LOTTERY



CLIENT PROJECT #: 20048.00
 SCEL PROJECT #: Y20-N001-CB

PROJECT INFORMATION:
4TH FLOOR UPFIT

1333 MAIN STREET, COLUMBIA, SOUTH CAROLINA

SSOESW PROJECT #: 021-00531-00
 SSOESW MANAGER: BILL FLEMING

SSOE | STEVENS WILKINSON
 1501 Main Street, Suite 730
 Columbia, SC 29201
 T: (803) 733-0300

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LEVEL 4 LIFE SAFETY & OCCUPANT LOAD PLANS

G3.40



1 4TH FLOOR OVERALL PLAN
1/8" = 1'-0"

- CONSTRUCTION RESTRICTIONS NOTES:**
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 - ACCESS TO THE 3RD FLOOR MUST HAVE A SPECIFIC DATE, TIMEFRAME, AND NAME OF INDIVIDUALS WHO WILL BE COMPLETING THE WORK.
 - ACCESS TO THE BUILDING WILL BE GRANTED TO THE FOREMAN/SUPERVISOR AND THAT PERSON WILL BE RESPONSIBLE FOR ENSURING ENTRANCE OF THE CREW.
 - SERVICE ELEVATORS MUST BE USED FOR DELIVERY AND REMOVAL OF EQUIPMENT, SUPPLIES, AND WASTE.
 - DUMPSTER MUST BE LOCATED ON THE BACK SURFACE PARKING LOT IN FRONT OF THE PATIO.
 - PARKING SPACES ARE AVAILABLE AFTER NORMAL DAILY WORK HOURS AND ANYTIME ON THE WEEKENDS ON THE BACK SURFACE PARKING LOT.
 - LOADING ZONE IS AVAILABLE FOR DELIVERIES.
 - BUILDING SECURITY IS AVAILABLE 24 HOURS DAILY.
 - ELECTRICAL SHUTDOWNS TO BE COORDINATED IN ADVANCE. 24-HOUR NOTIFICATION MINIMUM.
 - PRINTING EQUIPMENT TO BE RELOCATED BY OWNER. COORDINATION FOR FINISH WORK TO BE COORDINATED WITH EQUIPMENT DOWNTIME. GC SHALL COORDINATE WITH OWNER TO LINE UP ALL WORK REQUIRING REMOVAL OF EQUIPMENT WITH PRINTING SCHEDULES. GC SHALL ENSURE EQUIPMENT IS PROTECTED DURING CONSTRUCTION WHEN EQUIPMENT IS IN THE ROOM.
 - SURVEILLANCE/SECURITY CAMERAS TO BE RELOCATED BY OWNER.
 - GC TO COORDINATE WITH OWNER/LANDLORD REGARDING ACCESS TO FLOOR BELOW FOR NECESSARY WORK.

GENERAL FLOOR PLAN NOTES

ACCESS DOORS SHALL BE INSTALLED IN WALLS AT ALL EQUIPMENT, VALVE OR OTHER LOCATIONS REQUIRING ACCESS FOR MAINTENANCE WHICH ARE LOCATED BEHIND FINISHED SURFACES. SEE SPECIFICATIONS FOR SPECIFIC REQUIREMENTS AND DIRECTIONS.

INSTALL GYPSUM WALLBOARD CONTROL JOINTS IN ACCORDANCE WITH ASTM C840 (WHERE A PARTITION'S LENGTH IS IN AN UNINTERRUPTED STRAIGHT PLAN EXCEEDING 30 LINEAR FEET. CONTROL JOINTS SHALL BE INSTALLED 3/4" ON CENTER MAXIMUM. INSTALL CONTROL JOINTS ALIGNED WITH DOOR JAMBS AND OR EDGE OF SOFFITS WHERE-EVER POSSIBLE. ALL GWB CONTROL JOINT LOCATIONS FOR WALLS AND SOFFITS SHALL MARKED UP ON SHOP DRAWINGS AND SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.

WHERE ADJACENT WALLS HAVE DISSIMILAR # OF LAYERS OF GWB, INSTALL FINAL LAYERS OF GWB FLUSH.

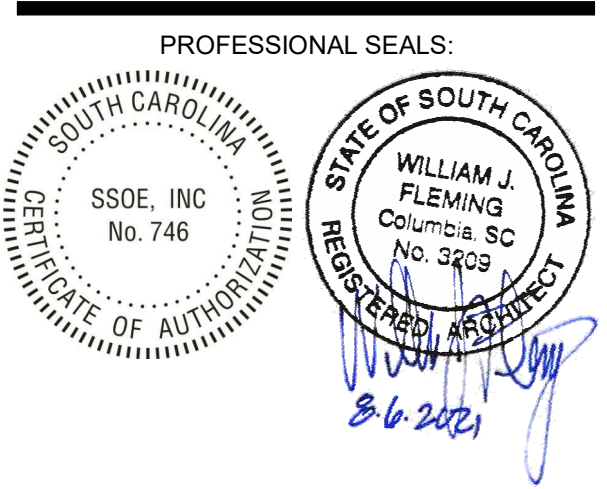
- DRAWING CONVENTIONS LEGEND**
- EXISTING CONSTRUCTION
 - NEW NON RATED METAL STUDS CONSTRUCTION
 - EXISTING 1 HOUR RATED METAL STUDS CONSTRUCTION
 - EXISTING 2 HOUR RATED METAL STUDS CONSTRUCTION
 - CENTERLINE
 - BUILDING ELEMENTS ABOVE
 - EXISTING COLUMN GRID REFERENCE
 - ALIGN ALIGNMENT REFERENCE

- REFERENCE CONVENTIONS**
- LEVEL 1 NAME OF ELEVATION/LEVEL
 - PROJECT ELEVATION
- ELEVATION (FLOOR/LEVEL) REFERENCE**
- NAME (AT OCCUPANT COUNT PLANS AND LIFE SAFETY PLANS. THIS IS THE OCCUPANT LOAD FACTOR TYPE)
 - 101 SQUARE FOOTAGE
 - 299 NUMBER (IF USED)
 - ZONE OCCUPANT LOAD COUNT (IF USED)
 - ZONE (IF USED)
- AREA REFERENCE**
- ROOM NAME ROOM NAME
 - 101 ROOM NUMBER
 - 150 SF AREA (IF USED)

- ROOM REFERENCE**
- CORE AND FINISH CONFIGURATION
 - CORE AND FINISH SIZE
 - SPECIAL CONDITIONS (IF USED)
 - PARTITION RATING *NOTED ON LIFE SAFETY PLANS *SEE PARTITION SHEET FOR MORE INFO
- PARTITION TYPE IDENTIFICATION**
- CEILING ELEVATION
 - CEILING MATERIAL
 - CEILING ELEVATION

- CEILING TYPE IDENTIFICATION**
- DOOR # - SEE DOOR SCHEDULE
 - DOOR & FRAME RATING IN MINUTES
- DOOR IDENTIFICATION**
- FURNITURE/EQUIPMENT ITEM NO. SEE SCHEDULE FOR MORE INFO

- FURNITURE/EQUIPMENT IDENTIFICATION**
- ELEVATION MARKER, SEE ELEVATIONS ON SHEET A10.01
 - SIZE (WIDTH x DEPTH x HEIGHT)
- CASEWORK IDENTIFICATION**



SUBMITTAL/REVISION SCHEDULE:

NO.	DATE	DESCRIPTION
1	11.09.2021	ADDENDUM A

APPROVED FOR CONSTRUCTION
NOT APPROVED FOR CONSTRUCTION

CLIENT INFORMATION:
SOUTH CAROLINA EDUCATION LOTTERY



CLIENT PROJECT #: 20048.00
SCEL PROJECT #: Y20-N001-CB

PROJECT INFORMATION:
4TH FLOOR UPFIT

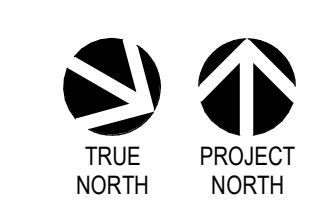
1333 MAIN STREET, COLUMBIA, SOUTH CAROLINA

SSOE/SW PROJECT #: 021-00531-00
SSOE/SW MANAGER: BILL FLEMING

SSOE | STEVENS WILKINSON
1501 Main Street, Suite 730
Columbia, SC 29201
T: (803) 735-5000

4TH FLOOR OVERALL PLAN

A1.40





1 LEVEL 4 FLOOR PLAN
1/4" = 1'-0"

DRAWING REFERENCE SYMBOLS	<p>DRAWING # ON SHEET</p> <p>DRAWING TITLE</p> <p>1/8" = 1'-0"</p> <p>DRAWING SCALE</p>
DRAWING IDENTIFICATION ON SHEET	<p>DRAWING # ON SHEET</p> <p>SHEET # ON WHICH DRAWING CAN BE FOUND</p>
EXTERIOR ELEVATION REFERENCE	<p>DRAWING # ON SHEET</p> <p>SHEET # ON WHICH DRAWING CAN BE FOUND</p>
INTERIOR ELEVATION REFERENCE	<p>DRAWING # ON SHEET</p> <p>SHEET # ON WHICH DRAWING CAN BE FOUND</p>
BUILDING SECTION REFERENCE	<p>DRAWING # ON SHEET</p> <p>SHEET # ON WHICH DRAWING CAN BE FOUND</p>
WALL SECTION REFERENCE	<p>DRAWING # ON SHEET</p> <p>SHEET # ON WHICH DRAWING CAN BE FOUND</p> <p>AREA DETAILED</p> <p>DRAWING # ON SHEET</p> <p>SHEET # ON WHICH DRAWING CAN BE FOUND</p>
DETAIL SECTION REFERENCES	<p>LEVEL 1</p> <p>NAME OF ELEVATION/LEVEL</p> <p>PROJECT ELEVATION</p>
ELEVATION (FLOOR/LEVEL) REFERENCE	<p>NAME (AT OCCUPANT COUNT PLANS AND LIFE SAFETY PLANS. THIS IS THE OCCUPANT LOAD FACTOR TYPE)</p> <p>NUMBER</p> <p>SQUARE FOOTAGE</p> <p>NUMBER (IF USED)</p> <p>OCCUPANT LOAD COUNT (IF USED)</p> <p>ZONE (IF USED)</p>
AREA REFERENCE	<p>Room name</p> <p>ROOM NAME</p> <p>ROOM NUMBER</p> <p>AREA (IF USED)</p>
ROOM REFERENCE	<p>CORE AND FINISH CONFIGURATION</p> <p>CORE AND FINISH SIZE</p> <p>SPECIAL CONDITIONS (IF USED)</p> <p>4W1</p> <p>PARTITION RATING</p> <p>*NOTED ON LIFE SAFETY PLANS</p> <p>*SEE PARTITION SHEET FOR MORE INFO</p>
PARTITION TYPE IDENTIFICATION	<p>CEILING ELEVATION</p> <p>CEILING MATERIAL</p> <p>CEILING ELEVATION</p>
CEILING TYPE IDENTIFICATION	<p>DOOR # - SEE DOOR SCHEDULE</p> <p>DOOR & FRAME RATING IN MINUTES</p>
DOOR IDENTIFICATION	<p>FURNITURE/EQUIPMENT ITEM NO.</p> <p>SEE SCHEDULE FOR MORE INFO</p>
FURNITURE/EQUIPMENT IDENTIFICATION	<p>ELEVATION MARKER. SEE ELEVATIONS ON SHEET A101</p> <p>SIZE (WIDTH x DEPTH x HEIGHT)</p>
CASEWORK IDENTIFICATION	

GENERAL FLOOR PLAN NOTES

- ACCESS DOORS SHALL BE INSTALLED IN WALLS AT ALL EQUIPMENT, VALVE OR OTHER LOCATIONS REQUIRING ACCESS FOR MAINTENANCE WHICH ARE LOCATED BEHIND FINISHED SURFACES. SEE SPECIFICATIONS FOR SPECIFIC REQUIREMENTS AND DIRECTIONS.
- INSTALL GYPSUM WALLBOARD CONTROL JOINTS IN ACCORDANCE WITH ASTM C848 (WHERE A PARTITION'S LENGTH RUNS IN AN UNINTERRUPTED STRAIGHT PLAN EXCEEDING 30 LINEAR FEET, CONTROL JOINTS SHALL BE INSTALLED 30" ON CENTER MAXIMUM. INSTALL CONTROL JOINTS ALIGNED WITH DOOR JAMS AND OR EDGE OF SOFFITS WHERE-EVER POSSIBLE. ALL GWB CONTROL JOINT LOCATIONS FOR WALLS AND SOFFITS SHALL MARKED UP ON SHOP DRAWINGS AND SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
- WHERE ADJACENT WALLS HAVE DISSIMILAR # OF LAYERS OF GWB, INSTALL FINAL LAYERS OF GWB FLUSH.

GENERAL NOTES - ACCESSIBILITY

- ALL PLUMBING UNDER LAVATORIES SHALL BE INSULATED SUCH THAT NO HOT, SHARP OR ABRASIVE SURFACES CAN CAUSE INJURY. SEE PLUMBING DWGS FOR MORE INFO.
- LEVER OR PUSH OPERATED DEVICES ARE REQUIRED ON ALL FAUCETS. SELF CLOSING DEVICES ARE PERMITTED PROVIDED THE FAUCET REMAINS OPERATING FOR AT LEAST TEN (10) SECONDS. SEE PLUMBING DWGS FOR MORE INFO.

DRAWING CONVENTIONS LEGEND

- EXISTING CONSTRUCTION
- NEW NON RATED METAL STUDS CONSTRUCTION
- EXISTING 1 HOUR RATED METAL STUDS CONSTRUCTION
- EXISTING 2 HOUR RATED METAL STUDS CONSTRUCTION
- CENTERLINE
- BUILDING ELEMENTS ABOVE
- EXISTING COLUMN GRID REFERENCE
- ALIGNMENT REFERENCE

GENERAL NOTES: DIMENSION CRITERIA

- CLEAR DIMENSIONS ARE REQUIRED MINIMUM CLEAR WIDTHS BETWEEN FINISH FACES.
 - FOR OPENINGS CENTERED ON A COLUMN CENTERLINE NO DIMENSION WILL BE SHOWN ON THE PLAN. THE WIDTH IS ESTABLISHED BY CRITERIA ABOVE AND BY REQUIRED MINIMUMS FOR ADA CLEARANCE AT STRIKE SIDE OF DOOR.
 - FOR OPENINGS ADJACENT TO A PARTITION INTERSECTION NO DIMENSION WILL BE SHOWN ON THE PLAN. THE WIDTH IS ESTABLISHED BY CRITERIA ABOVE AND BY REQUIRED MINIMUMS FOR ADA CLEARANCE AT STRIKE SIDE OF DOOR.

CONSTRUCTION RESTRICTIONS NOTES:

- DUST AND DEBRIS-GENERATING AND NOISE-CAUSING WORK MUST BE DONE AFTER WORK HOURS AND BEFORE 6:00 AM MONDAY THROUGH FRIDAY OR ANYTIME ON WEEKENDS.
- ACCESS TO THE 3RD FLOOR MUST HAVE A SPECIFIC DATE, TIME RANGE, AND NAME OF INDIVIDUALS WHO WILL BE COMPLETING THE WORK.
- ACCESS TO THE BUILDING WILL BE GRANTED TO THE FOREMAN/SUPERVISOR AND THAT PERSON WILL BE RESPONSIBLE FOR ENSURING ENTRANCE OF THE CREW, SERVICE ELEVATORS MUST BE USED FOR DELIVERY AND REMOVAL OF EQUIPMENT, SUPPLIES, AND WASTE. DUMPSTER MUST BE LOCATED ON THE BACK SURFACE PARKING LOT IN FRONT OF THE PATIO.
- PARKING SPACES ARE AVAILABLE AFTER NORMAL DAILY WORK HOURS AND ANYTIME ON THE WEEKENDS ON THE BACK SURFACE PARKING LOT.
- LOADING ZONE IS AVAILABLE FOR DELIVERIES.
- BUILDING SECURITY IS AVAILABLE 24 HOURS DAILY.
- ELECTRICAL SHUTDOWNS TO BE COORDINATED IN ADVANCE, 24 HOUR NOTICE MINIMUM.
- PRINTING EQUIPMENT TO BE RELOCATED BY OWNER. COORDINATION FOR FINISH WORK TO BE COORDINATED WITH EQUIPMENT DOWNTIME. GC SHALL COORDINATE WITH OWNER TO LINE UP ALL WORK REQUIRING REMOVAL OF EQUIPMENT WITH PRINTING SCHEDULES. GC SHALL ENSURE EQUIPMENT IS PROTECTED DURING CONSTRUCTION WHEN EQUIPMENT IS IN THE ROOM.
- SURVEILLANCE/SECURITY CAMERAS TO BE RELOCATED BY OWNER.
- GC TO COORDINATE WITH OWNER/LANDLORD REGARDING ACCESS TO FLOOR BELOW FOR NECESSARY WORK.

PROFESSIONAL SEALS:

DATE: 11/09/2021

DESCRIPTION: ADDENDUM A

APPROVED FOR CONSTRUCTION: [] NOT APPROVED FOR CONSTRUCTION: []

CLIENT INFORMATION:

SOUTH CAROLINA EDUCATION LOTTERY

CLIENT PROJECT #: 20048.00
SSOE/SW MANAGER: BILL FLEMING

4TH FLOOR UPFIT

1333 MAIN STREET, COLUMBIA, SOUTH CAROLINA

SSOE/SW PROJECT #: 021-00531-00
SSOE/SW MANAGER: BILL FLEMING

SSOE | STEVENS & WILKINSON

1501 Main Street, Suite 730
Columbia, SC 29201
(803) 705-0000

LEVEL 4 FLOOR PLAN

A1.41

REQUEST FOR INFORMATION FORM



RFI 1
Date 11/3/2021

To: **Michael Delinsky, AIA**
Company **SSOE | Stevens & Wilkinson**

RFI DESCRIPTION

Question: Has an Asbestos Test been Performed **Landlord is scheduling a test for the area of work.**

Question: Will all the Existing Furniture be removed prior to demo **Furniture and equipment will be relocated by owner, GC is to coordinate with owner on printer equipment downtimes.**

Question: Is all work to be done during regular business hours **No, work to be done off hours or on weekends.**

Question: Can another site visit be setup prior to bid week. **Yes, this occurred on 11/8**

Question: Are there any additional building requirements **See note added on Addendum A**

Attachments

Submitted By Craig Veach
Complete Solutions Contracting
cveach@cscmidlands.com

Response By **Michael Delinsky**
Date **11.9.2021**

REQUEST FOR INFORMATION FORM



RFI 2
Date 11/18/2021

To: **Michael Delinsky, AIA**
Company **SSOE | Stevens & Wilkinson**

RFI DESCRIPTION

Note 11 on page E2.41 new exhaust fan on roof level as shown. Resuse existing exhaust fan circuit, what scope is required for Electrician ?

Note 11, E2.41. Electrician would disconnect existing exhaust fan and reconnect new exhaust fan to existing circuit per the note. SSOE I S&W Scott Reid 11.09.21

There is a 3 phase disconnect that needs to to the LMP panel, does the Pnl have room for and additional circuit, does the panel cover the 120 V; 208V.

Per Note 10, E2.41. Water Source Heat Pump WSHP-01 connects to existing Panel LMP. Panel LMP is an existing 277/480V, 3Ph, 4W panel that has room for the additional new 20/3 breaker. SSOE I S&W Scott Reid 11.09.21

Attachments

Submitted By Craig Veach
Complete Solutions Contracting
cveach@cscmidlands.com

Response By **SCOTT REID**
Date **11.09.2021**